



CITY of PERTH

INFORMATION SHEET

AMENDMENT NO. 3 LOCAL PLANNING SCHEME NO. 26 AND EAST PERTH – SOUTH COVE AREA 20 DESIGN GUIDELINES

75 (LOT 70) HAIG PARK CIRCLE, EAST PERTH

The subject site has an area of 2,233m² and is bounded by Plain Street to the west, Haig Park Circle to the south and east and mixed-use buildings which front Royal Street to the north. The site is privately owned and currently occupied by a public fee-paying and commercial tenant at-grade car park.



Figure 1 - 75 (Lot 70) Haig Park Circle, East Perth

The land was previously part of the former East Perth Redevelopment Authority Area and was transferred to the City with plot ratio floor space and land use requirements but without any specific development standards in place to inform the built outcome of the site. In response to a lack of design guidance, the City has undertaken significant community consultation to develop a set of proposed built form standards for the site, including two community workshops with the East Perth residents and business owners which were held in August 2017.

The main changes proposed to Local Planning Scheme No. 26 and the South Cove Area 20 Design Guidelines to deliver specific built form standards for the site are summarised below:

- Requiring the building along Haig Park Circle to have a minimum street setback of 3 metres and a maximum street building height of 10.5 metres (three storeys) with any additional height contained within a 45 degree angle height plane.
- A maximum plot ratio floor space of 1.5 for the site (one and half times the total land area or 3,350m²) which is a decrease from the current plot ratio of 2.0.
- Specifying building envelopes for the site with maximum building heights and minimum building setbacks including an eastern building with a maximum overall building height of 14 metres and western building with a maximum overall building height of 21 metres.
- The provision of a pedestrian easement through the site which will link Haig Park Circle with Sovereign Close with a minimum width of 8 metres, except at the northern end where it may be necessary to accommodate vehicular access to the site.
- Limiting uses along Haig Park Circle to Permanent Residential and Transient Residential to protect the residential character and amenity of the area and allowing for commercial uses to be accommodated along Plain Street and to the north.
- Ensuring any on-site car parking is located within a basement level or is sleeved behind other land uses so that it is not visible from the street or adjacent properties.
- Excluding a public fee-paying public car parking from the calculation of plot ratio floor area of a building where it is provided at the basement level to encourage the provision of a replacement public fee-paying car park on the site.
- Ensuring adequate depth for in ground landscaping is accommodated along Haig Park Circle.
- Relocating or incorporating the existing electrical substation located in the south-east corner of the site into the design of the building so that it is not visible from the public realm.
- Integrating the existing limestone retaining walls to the north and on Plain Street and Haig Park Circle into the design of the development.

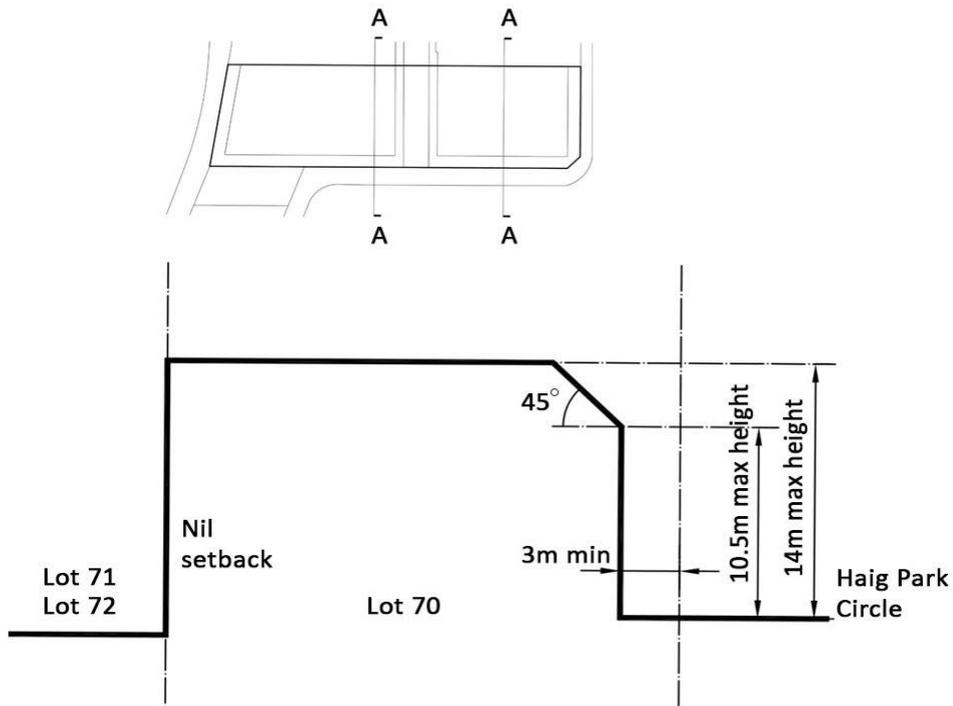


Figure 2 - North south section of building envelopes through eastern and western buildings

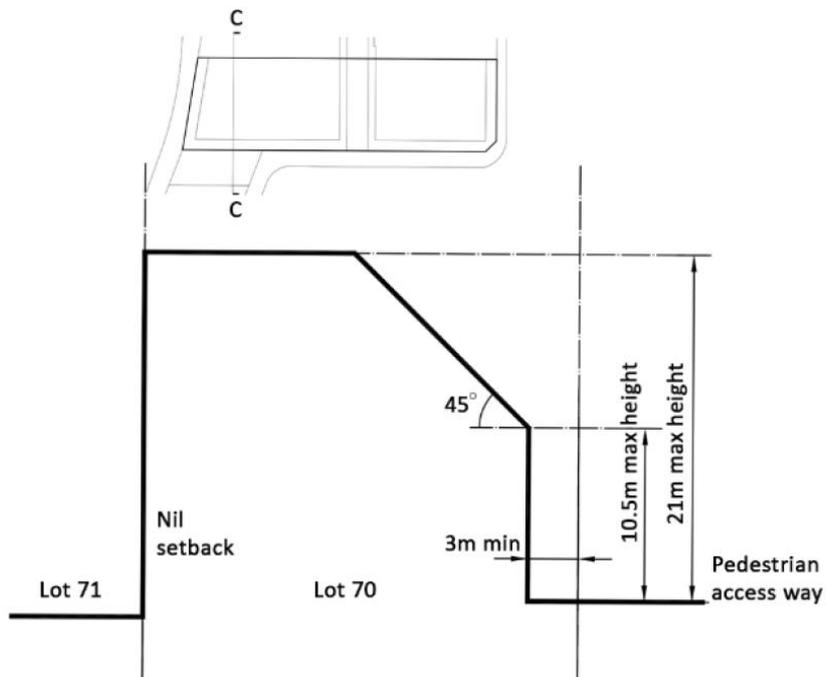


Figure 3 – North south section of building envelope through western building