



Planning Policy Manual – Part 2

**Planning Policies and Design Guidelines for Normalised
Redevelopment Areas**

Section 2.25
East Perth – Area 25
Plain Street



Version #	Decision Reference	Synopsis
1	11 March 2008	Adopted
2	17 March 2015	Amended
3	11 April 2017	Amended



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1.0 APPLICATION

These guidelines apply to land bounded by Wickham Street to the south, Plain Street to the east and Regal Place to the north as shown in Figure 1. This area is within Precinct EP3: Royal Street Central as defined in the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas)(herein called 'the Scheme').

2.0 CONTEXT

Area 25 fronts the important through-road frontage of Plain Street and connects with the established residential and mixed use side streets. The topography of the area provides for views of the Claisebrook valley and presents a southern gateway into the Claisebrook Village Project Area.

The former Perth Girls School borders the western end of the area and provides a significant heritage land mark entry. The former East Perth Cemetery and Pioneer Gardens face the area across Plain Street.



Figure 1:- Plain Street

2.1 General Site Characteristics and Requirements

The site is characterised by the residential development between Wickham and Wittenoom Streets and commercial/service industry development between Wittenoom Street and Regal Place.

In general, a consistent built up frontage will be sought for Plain Street opposite Pioneer Gardens and the cemetery.

Buildings facing Plain Street will be able to be developed at up to six storeys in height to reinforce the strong street frontage presentation. Side streets behind the Plain Street frontage lots will be limited to four storeys in height with an envelope which allows for solar access to south facing Lots.

2.2 Scheme Provisions

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the Claisebrook Village Project Area, Precinct EP3: Royal Street Central, and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

The Scheme identifies Preferred, Contemplated and Prohibited uses for Precinct EP13: Royal Street Central and stipulates maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

New development should be in harmony with the character and scale established by existing buildings, especially in the vicinity of those of heritage value.

3.0 BUILDING FORM

3.1 Setbacks

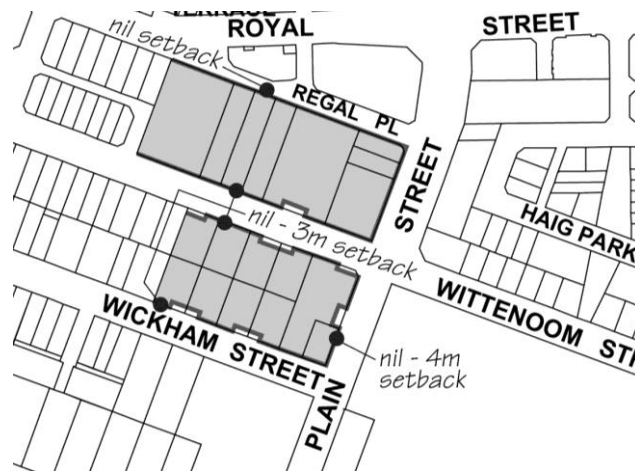


Figure 2:- Setbacks

SETBACKS FRONTAGE	MIN	MAX
Wickham Street	Nil	3m
Plain Street	Nil	4m
Regal Place	Nil	-
Wittenoom Street	Nil	3m
Side and Rear	Nil	-

A continuous frontage is generally sought. For buildings using a setback distance, verandahs, awnings and other building structure which comes forward into the setback area will be encouraged. Balconies fronting boundaries with a nil setback must be incorporated into the building fabric such that they do not project beyond the primary plane of the building elevation.

Other than those stated above, setbacks for walls with openings are to be in accordance with the R-Codes.

3.2 Building Height

Building height and bulk will be required to be contained within building envelopes. In general, buildings facing Plain Street should be up to six storeys (20-22m as indicated on building envelopes) in height with buildings fronting side streets up to four storeys (14m) in height.

Only minor projections will be allowed through building envelopes for such items as chimneys, awnings, pergolas, balconies and small portions of bay and dormer windows. Balconies and enclosed rooms must not project past the lot boundaries.

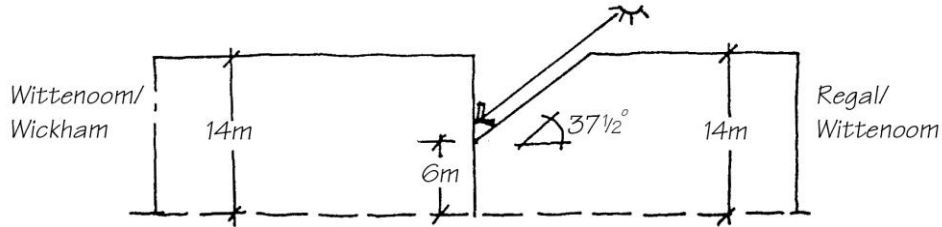


Figure 3:- Building Envelope

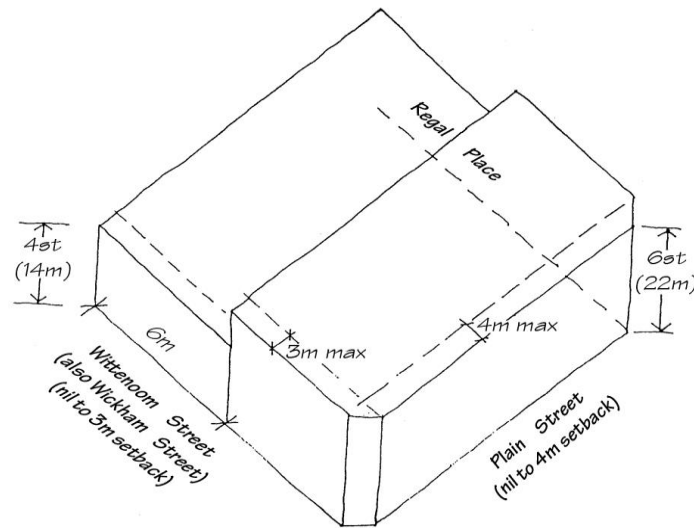


Figure 4:- Building Envelope

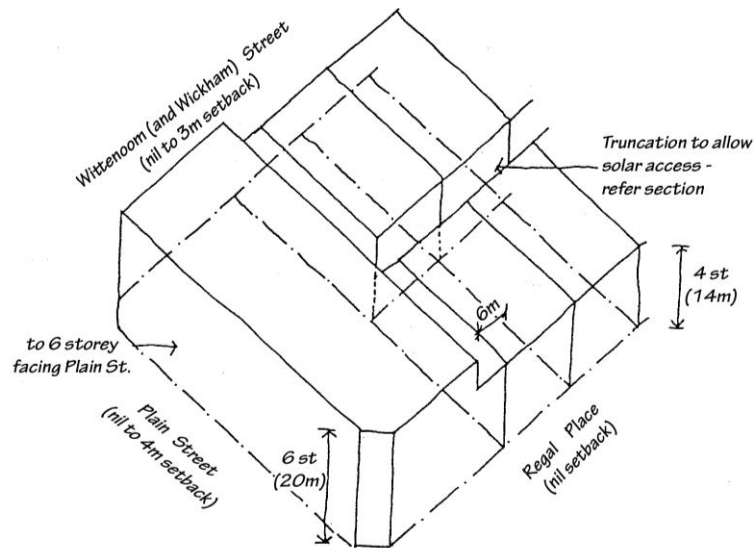


Figure 5:- Building Envelope

3.3 Parking and Access

Parking which is concealed from public view such as undercroft or basement parking is preferred, although open air car parking at the rear of sites will be considered.

At-grade pedestrian access for all users into buildings is to be provided from Street frontages. Any commercial development will be required to provide for cyclist access with end of trip cyclist facilities to be provided. Safe and attractive pedestrian access into buildings is also to be provided from any car park on site. Generally, one crossover only will be allowed for each lot.

3.4 Building Character

Buildings should respect the scale of the street or place and of their neighbours.

Buildings will be assessed for their contribution to the legibility and identity of East Perth, the public-private interface, streetscapes, grain and sense of place. Aspects such as roof line, materials and the scale and massing of buildings will be carefully considered by the local government in the assessment of development applications.

The use of courtyards and/or balconies is encouraged to provide amenity for residential development where required, and to take advantage of any views. All elevations are to be well detailed and are to relate to a pedestrian scale.