



**Planning Policy Manual – Part 2**

**Planning Policies and Design Guidelines for Normalised  
Redevelopment Areas**

**Section 2.30**  
**East Perth – Area 30**  
**Waterloo**



<b>Version #</b>	<b>Decision Reference</b>	<b>Synopsis</b>
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## 1.0 APPLICATION

The land bounded by Plain Street, Bronte Street and Waterloo Crescent is within the Waterloo Precinct (Precinct EP12), as defined in the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas) (herein called ‘the Scheme’). These guidelines apply to the land shown in Figure 1.

Lot 773 has not been incorporated into the Scheme as it has not been normalised. Normalisation occurs when planning control is transferred from the Metropolitan Redevelopment Authority (MRA) to the local government. Please refer to the MRA, which has planning control over this area.

## 2.0 CONTEXT

Area 30 forms the distinctive crescent shaped ridge facing south and south west over the W.A.C.A. and Gloucester Park and derived its name from the Waterloo Crescent forming the eastern extension of Wellington Street.

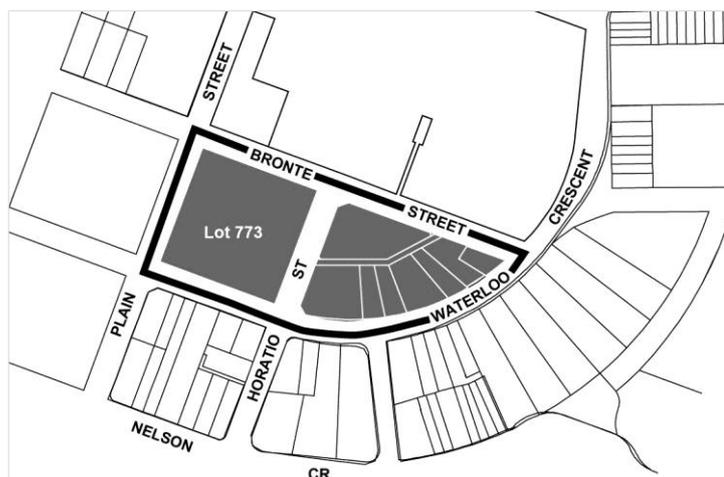
The existing Main Roads Western Australia office building forms a prominent landmark within the western end of the area. Buildings in the street block include multiple dwelling residential developments and remnant single residential sites. Retention of the latter would be encouraged given their inherent heritage value.

The former East Perth Cemetery borders the northern end of the precinct.

The primary objectives of these guidelines are to:

- Encourage viable development that complements the urban form and prominent location of the Waterloo Precinct;
- Encourage development of land adjacent to the former East Perth Cemetery to frame a continuous built up frontage;
- Establish a consistent frontage to Waterloo Crescent, which reflects the topography of the site and the crescent shape of the street.

Figure 1:- Waterloo Precinct (Note lot 773 has not been normalised in stage 1)



## 2.1 General Site Characteristics and Requirements

The site is characterised by the Main Roads office building at the western entry to the area and medium density residential apartment buildings around the 'crescent'. Waterloo Crescent previously housed a row of single houses, few of which remain.

The area generally has the highest land in East Perth, the intersection of Plain and Bronte Streets being the highest point in the central city area (only Mount Eliza, Kings Park is higher). Extensive views are available from sites around Waterloo Crescent to the west, south and east.

In general, a consistent built up frontage will be sought for both Plain Street and Bronte Streets opposite the cemetery. Newer buildings around Waterloo Crescent are built to a 9m set back from the front property boundaries. As far as possible, this aspect is to be continued in new development of the lots to create a consistent presentation to the crescent.

The height of buildings in the area will be limited to a twelve metre height plane prescribed in the Scheme. The 'Main Roads' office building does not comply with this height limit, although any redevelopment of the site would be required to comply. Upon redevelopment, this Lot at the corner of Wellington Street and Plain Street would ideally present a frontage at nil setback to these frontages and to the corner. This could also be achieved with the retention of the building in conjunction with a change of use.

Older single residential buildings are generally one to two storeys, (3m to 6m) with high ceilings and pitched roofs. A mix of materials is present. Materials in new development should primarily be of a solid construction nature such as brickwork, stone masonry or rendered concrete type materials, with lighter materials used for suspended, lightweight or cantilevered building elements such as awnings, feature panels, roof sections and balconies.

A three storey building would easily be possible within the 12m high building envelope to Bronte Street.

## 2.2 Scheme Provisions

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the Claisebrook Village Project Area, Precinct EP12: Waterloo and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes Regulations 2015)* also form part of the Scheme Text.

The Scheme identifies Preferred, Contemplated and Prohibited uses for Precinct EP12: Waterloo and stipulates maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

New development should be in harmony with the character and scale established by existing buildings, especially in the vicinity of those of heritage value. The local government encourages the recycling of buildings where this is viable and where they make a positive contribution to the streetscape and amenity of the area.

### 3.0 BUILDING FORM

#### 3.1 Setbacks

SETBACKS FRONTAGE	MIN	MAX
Plain Street	Nil	4m
Bronte Street	Nil	-
Horatio Street	3m	-
Waterloo Crescent*	9m	-
Side Setbacks	Nil	-

\*Note diagram for corner lot (Plain Street/ Waterloo Crescent).

Other than those stated above, setbacks are to be in accordance with the R-Codes. Balconies fronting boundaries with a nil setback must be incorporated into the building fabric such that they do not project beyond the primary plane of the building elevation.

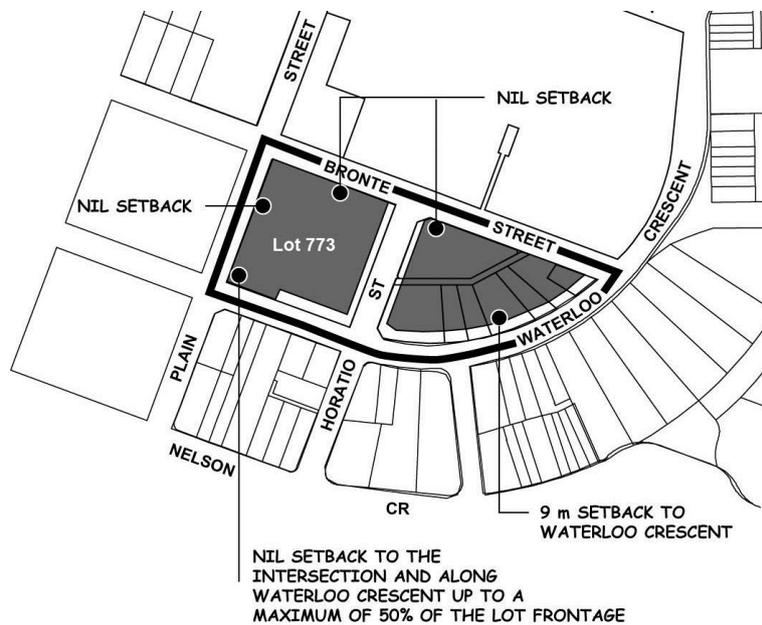


Figure 2:- Setbacks (Note lot 773 has not been normalised in stage 1)

#### 3.2 Building Height

Development is required to be contained within a height plane connecting points 12m (three storeys) above the natural ground level on the front property boundary and 12m above the natural ground level on the rear property boundary. Only minor projections will be allowed through the height plane.

#### 3.3 Parking and Access

Undercroft or basement parking concealed from public view is preferred, although open air car parking at the rear of sites will be considered.

At-grade pedestrian access for all users into buildings is to be provided from Street frontages. Safe and attractive pedestrian access into buildings is also to be provided from any car park on site.

Generally, one crossover only will be allowed for each lot. Access from the R.O.W. between Horatio and Bronte Streets for affected lots will be encouraged.

### 3.4 Building Character

Buildings should respect the scale of the street or place and of their neighbours. The buildings should also be sympathetic in scale, massing and proportions to adjacent buildings of heritage significance.

Buildings will be assessed for their contribution to the legibility and identity of East Perth, the public-private interface, streetscapes, grain and- sense of place. Aspects such as roof line, materials and the scale and massing of buildings will be carefully considered by the local government in the assessment of development applications.

The use of courtyards and/or balconies is encouraged to provide amenity for residential development where required, and to take advantage of any views. All elevations are to be well detailed and are to relate to a pedestrian scale.

### 3.5 Roofs

Roofs should generally be expressed in a way which compliments the architectural style of the building, which provides clear silhouettes and minimises visual clutter. Roofs may be flat or, if pitched, between 30° and 45°. Roofs visible from ground level may be in smooth profile tiles or off-white corrugated sheeting.

### 3.6 Walls and Windows

Blank walls abutting a public space must be minimised. Walls are to be detailed to provide visual interest and pedestrian scale. Proportions of solid wall to openings should reflect the scale of adjacent spaces.

Windows are to have a vertical or square proportion. Where the overall window opening shape is of a horizontal nature, glazing shall be broken up to reflect the required square or vertical proportion. Reflective or dark tinted glass is not permitted.

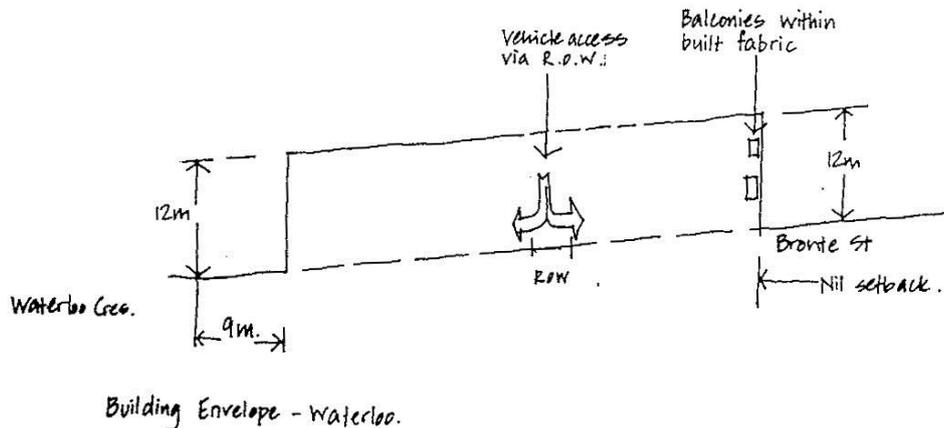


Figure 3:- Building Envelope - Waterloo