



Planning Policy Manual – Part 2

**Planning Policies and Design Guidelines for Normalised
Redevelopment Areas**

Section 2.28

East Perth – Area 28

Lot 201 Plain Street



| Version # | Decision Reference | Synopsis |
|------------------|---------------------------|-----------------|
| 1 | 11 March 2008 | Adopted |
| 2 | 17 March 2015 | Amended |
| 3 | 11 April 2017 | Amended |
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1.0 GENERAL

Lot 201 Plain Street (Figure 1) is located between Wittenoom and Wickham Streets, overlooking the Haig Park subdivision and the historic East Perth Cemeteries. Plain Street is one of the major roads leading through the Claisebrook Village Project Area, so any development on the site will be highly visible. The site falls approximately 6m between Wickham and Wittenoom Streets, and the development will have to be designed to accommodate this slope. The Lot is adjacent to a small cemetery memorial site (Lot 200) located on the corner of Plain and Wickham Street.

1.1 About These Guidelines

These Guidelines describe the character sought for this lot and the design elements required to achieve the required character and form. Lot 201 Plain Street is located within Precinct EP3: Royal Street Central, as defined in the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas)(herein called 'the Scheme').

The Scheme identifies Preferred, Contemplated and Prohibited uses for Precinct EP3: Royal Street Central and stipulates maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

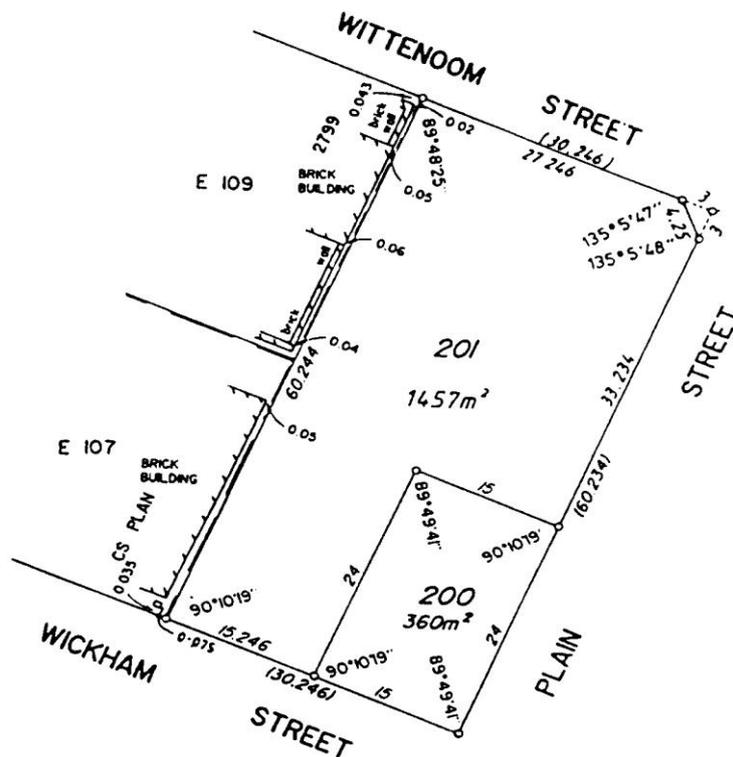


Figure 1: - Lot 201 Plain Street, East Perth

1.2 Development Potential

The local government's intention for this site is that it should be developed for residential purposes. The site has capacity for up to 14 dwellings. A combination of residential with other uses will be considered provided that the development complies with these Design Guidelines in all other respects.

1.3 Setbacks

| SETBACKS FRONTAGE | MIN | MAX |
|-------------------|-----|-----|
| Wittenoom Street | 3m | 4m |
| Wickham Street | 3m | 4m |
| Plain Street | 3m | 6m |
| West | Nil | 4m |
| Lot 200 (north) | 2m | n/a |
| Lot 200 (east) | 3m | n/a |

1.4 Building Height

- The building height and bulk is to be contained within a building envelope. The maximum envelope height is measured from the highest finished level of the footpath at the perimeter of the lot. The building envelope is depicted in Figure 2.
- The building envelope is 9m high (3 storeys) at each street boundary, then projects at 45° until it reaches a point equivalent to 13m (usable loft space) above the corresponding street boundary level.
- The building may project beyond the building envelope only as far as is necessary to reflect the terracing of the site (also see Figure 4).
- Minor projections are allowed for such items as chimneys, finials, pergolas, small portions of bay and dormer windows, Juliette balconies and minor portions of other balconies, and approved features which in the opinion of the local government contribute to the character and identity of the area. Balconies and enclosed rooms must not project past the lot boundaries. The building envelope defines the limits of building bulk and it is not intended that the building profile should mirror that of the envelope.

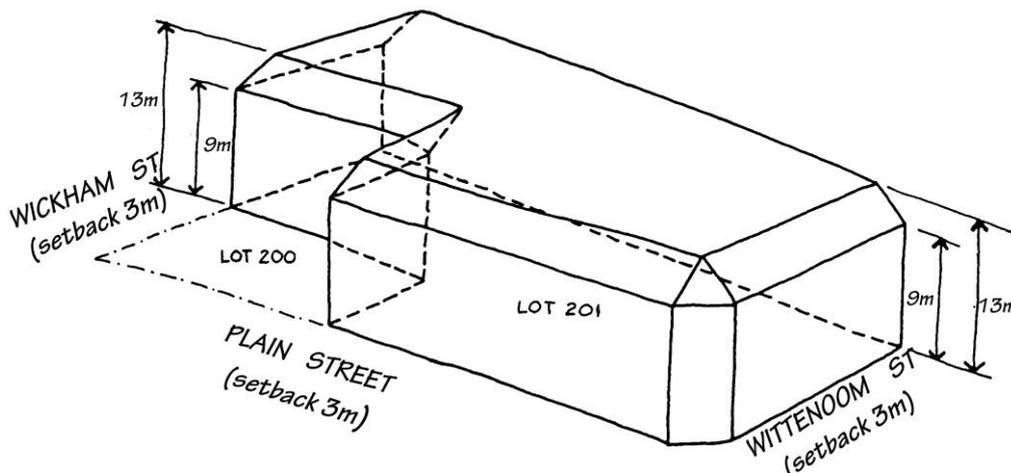


Figure 2: - Building Envelope for Lot 201

1.5 Access and Parking

- Vehicle access is permitted from Wittenoom Street and Wickham Street but not Plain Street.
- Parking for non-residential uses must be separate from residential parking. Tandem car bays will only be permitted for second bays for residential units. Car parking must be adequately screened from the street.

- Pedestrian access is to be provided separately from vehicle access. Pedestrian access is to be made available from all street frontages.

1.6 Open Space

- North facing private open space for each dwelling should be provided wherever possible.
- Balconies, decks, courtyards and roof terraces are all acceptable forms of private open space.
- Roof terraces greater than 4m x 4m in dimension must have a roof or shade structure covering the majority of the terrace, in keeping with the scale and elevation of the building. This is in order to add visual interest, reduce apparent scale and assist with climate control.
- All private open space is to be of usable area and dimension. As a guide, ground level private open space should have an area with minimum dimensions of 4m x 4m, whilst a balcony should have a minimum dimension of 1.5m.
- Juliette balconies (balconies not exceeding 750mm in depth) are permitted but will not be counted as private open space.
- All private open space must be designed to minimise overlooking of adjoining properties, provide privacy to users and permit adjoining properties to share available views.

1.7 Building Design

Generally building height is intended to be two to three storeys (max 9m) plus usable roof space, (total 13m) in the form of a loft, attic or roof terrace. It is expected that the slope of the site will be accommodated within the design of the development through the use of split levels and internal site terracing.

1.7.1 Privacy and Noise Attenuation

- A high standard of acoustic and visual privacy is expected with particular attention to:
 - construction materials and techniques to reduce noise transmission between dwellings and traffic noise from Plain Street;
 - site and dwelling layout to separate potentially conflicting uses;
 - balcony and window location and design to avoid overlooking neighbouring windows and private open space.
 - building design should contribute to the creation of a safe environment by avoiding the formation of "blind" spaces which cannot be seen from inside the most used rooms.

1.7.2 Balconies

- The inclusion of balconies is encouraged. Balconies also assist the composition, articulation and visual interest of buildings. They should be of usable dimensions with a minimum dimension of 1.5m and wherever possible be enhanced by the provision of shading from summer sun.
- A Juliette balcony is a balcony with a substantive dimension 750mm or less.
- A balcony may project into a required minimum setback other than nil setbacks by a maximum of 1.5m.

1.7.3 Roof Form

- Where it is visible from public areas and streets the majority of the roof pitch is to be between 30 - 45 degrees, with a shallower pitch acceptable for verandahs and canopies, small areas of skillion roofs, and small areas of flat roofs where screened behind parapets.
- The use of dormer/attic windows, verandahs and awnings is encouraged to reduce the apparent scale of development, add visual interest and assist with climate control.

1.7.4 Articulation and Detailing

- The development should provide a modulated street frontage with an articulated facade and use of elements such as verandahs, balconies, awnings, dormers and window projections to provide visual interest and establish a fine grained scale to development.
- Generally, detailing should provide visual richness and variety, interest and identity and assist in reducing the visual bulk of building mass.
- The development should address each frontage visible from a public area and make a feature of the street corners by the incorporation of some distinctive detailing.
- Garages (particularly doors), carports and fencing are to be detailed to reduce their visual impact and add interest at the pedestrian level.
- The plan layout should enable casual surveillance of the lot and surrounds from habitable rooms and balconies.

1.7.5 Window Opening Proportion

Overall window opening proportion must be vertical or square. Horizontally proportioned window openings are acceptable only if integral to the elevation and a minor element of the overall elevational composition.

1.7.6 Chimneys

Chimneys are encouraged. Chimneys should have cowls or contain some shape and form to the chimney capping.

1.7.7 Window shutters

Door and window shutters if fitted must be operable.

1.8 Materials and Colour

1.8.1 Walls and Windows

- Generally walls are to be red or terracotta coloured brick or similarly coloured masonry, limestone, or coloured render finish.
- Render may be paint, finished in ochres, reds and traditional wash colour.
- Timber and lightweight cladding (paint finished or stained) is acceptable on upper floors and as a minor element at ground floor level.
- The considered combination of more than one material or use of more than one finish is encouraged as it adds variety and reduces perceived building bulk. Finishes that separate ground and upper floors or parts of upper floors are encouraged.
- Reflective glass or dark tinted glass is not permitted. Generally 6mm float glass is acceptable.

1.8.2 Colour

- Well considered colour schemes are encouraged, as distinct from predominantly monochrome colour schemes.
- Trim colours which enhance and complement the wall and roof colours are preferred. The local government retains the right of final decision on the acceptability of a colour scheme.

1.8.3 Roofs and Shade Structure Covering

- Roof materials are to be selected from within the following colour range: tiles in autumn or terracotta tones; shingles in slate grey; corrugated metal decking in Colourbond Off White, Merino, Wheat, Birch Grey, Saltbush, Beige, Homestead, Mist Green or Gull Grey.
- A Zinalume finish is acceptable only where it can be demonstrated that glare and reflectivity will not be a problem to neighbours and surrounding activities.
- Shade cloth or profiled clear acrylic roof sheeting is not permitted in locations visible from the street.

1.8.4 Balustrading

- Aluminium or cast iron "lace" is not permitted.

1.9 Blank Walls

Blank walls abutting or facing public spaces and the adjoining memorial site are to be kept to a minimum. Walls are to be detailed to provide visual interest and pedestrian scale and to maximise casual surveillance of public spaces from within the development.

1.10 Landscape

- The existing eucalyptus tree should be appropriately incorporated within the development.
- Permeable segmental paving is to be used for all hard surfaces in order to increase on-site water absorption.
- Trees selected should be suitable for small gardens, and the mature tree size, form and scale should relate to, but not overwhelm the building mass.
- A detailed landscape proposal plan including details of selected tree species is to be submitted to the local government along with a copy of the Building License application.

1.11 Services

All piped and wired services, air conditioners, clothes drying areas and hot water storage tanks are to be concealed from street and public area view. Solar panels and solar water heaters may be visible where they are in the same plane as the roof and there is no alternative location that can provide a similar level of solar efficiency.

1.12 Retaining walls and Fences

- All lot boundaries are to be fenced.
- At least 50% of the boundary length of street frontage fencing is to contain visually permeable infill panels.
- No retaining wall may exceed 1.2m in height at any point along any street boundary. Figure 3 refers.

- The standard fencing style depicted in figure 3 is to be used for all street boundaries. This consists of capped piers to a maximum of 2m high, with a fence base and infill wrought iron or metal railings to maximum 1.8m high.
- The combined height of any retaining wall and fence is not to exceed 2.5m. At no point may the combined height of any retaining wall and solid infill fence exceed 1.8m (excluding capping).
- Heights are measured from the finished ground level of the adjacent street or footpath and piers and fence base may be limestone, face brick or concrete or rendered brick finished to match the building/s.

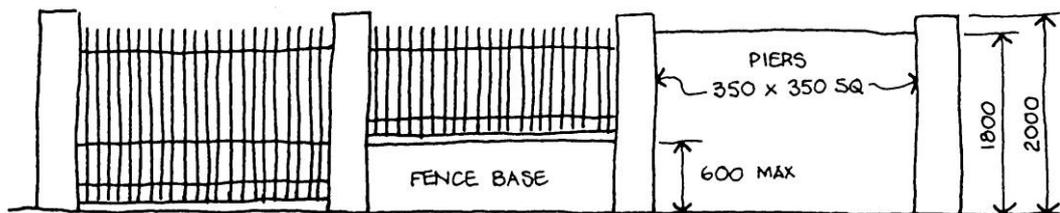


Figure 3: - Standard Fencing

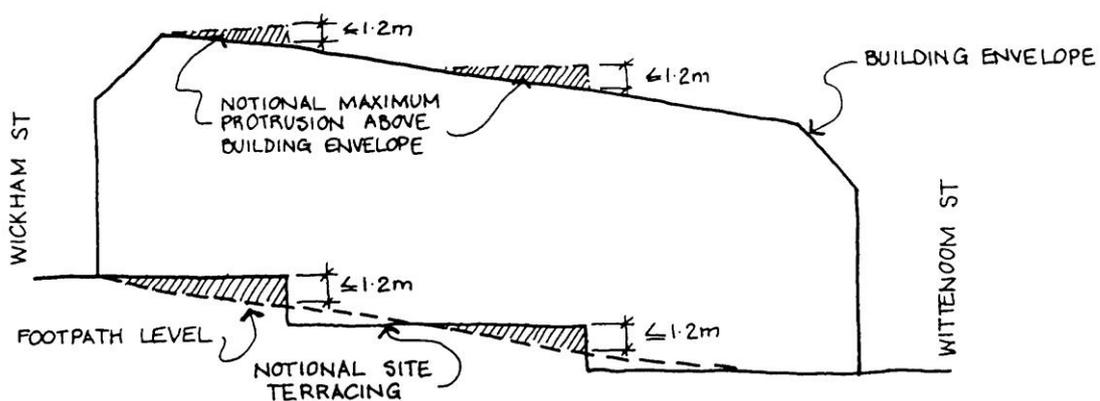


Figure 4: - Maximum retaining height and protrusion beyond building envelope

1.13 Sewerage Connections

Due to the location of the sewer connection it will be necessary to give careful consideration to the position of plumbing fixtures within the development on the lower portions of the site.