

**Planning Policy Manual – Part 2**

**Planning Policies and Design Guidelines for Normalised  
Redevelopment Areas**

**Section 2.22**  
**East Perth – Area 22**  
**Gibraltar Way**



<b>Version #</b>	<b>Decision Reference</b>	<b>Synopsis</b>
1	11 March 2008	Adopted
2	17 March 2015	Amended
3	11 April 2017	Amended

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## 1.0 GENERAL

### 1.1 Application

These guidelines relate to Lots 31 - 37 Gibraltar Way, as shown in Figure 1. Constitution Hill is within the Constitution Street Precinct (Precinct EP2) as defined by the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas) (herein called ‘the Scheme’).

### 1.2 Relationship to Planning Scheme and Planning Policies

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the Claisebrook Village Project Area, Precinct EP2: Constitution Street, and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

The Scheme identifies Preferred, Contemplated and Prohibited uses for Precinct EP2: Constitution Street and stipulates maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

### 1.3 About These Guidelines

The guidelines set out the desired approach to those matters which influence the character and built form of the area, in order to achieve an attractive and harmonious living environment for residents and the community. The local government may refuse development approval for developments not considered to be in keeping with the intent of the guidelines.

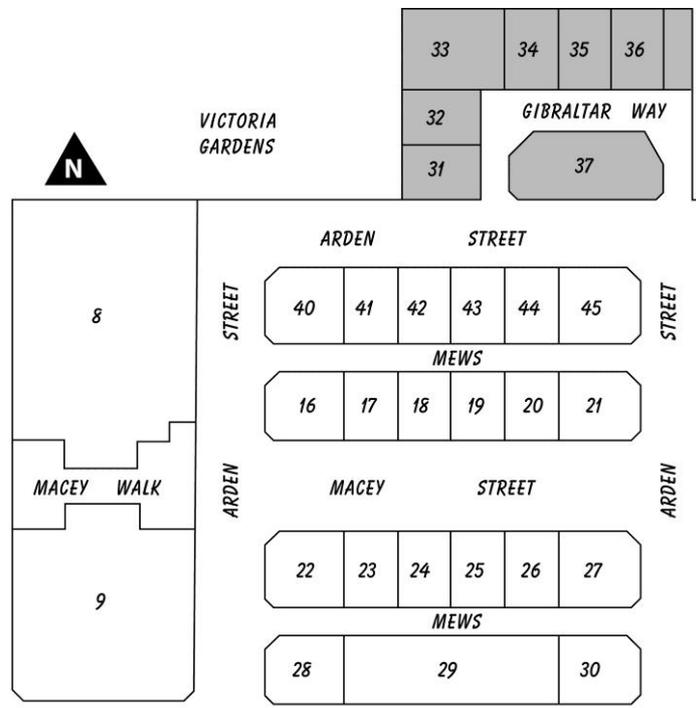


Figure 1: - Extent of Design Guidelines Coverage

## 2.0 BUILDING DESIGN PARAMETERS

### 2.1 Integration of Art

Involvement of artists in designing new development is strongly encouraged as it can provide opportunities to enrich design responses. Examples of integral artworks include detailing to fences and walls, steps, balustrades, paving design, lighting, building fittings and entry treatments.

### 2.2 Development Potential

The following number of dwellings is permitted on each site:

- Lots 31, 32, 34, 35 and 36 - 1 dwelling per lot.
- Lot 33 - 2 dwellings.
- Lot 37 - 3 dwellings.

### 2.3 Building Envelope

- A building envelope is used for three reasons:
  - (1) to give some certainty as to the bulk of neighbouring buildings;
  - (2) to ensure that new building will be of an appropriate residential scale; and
  - (3) to ensure that the visual bulk will be appropriate to the desired character of the area.
- Building height and bulk is to be contained within the defined building envelope, with only minor projections allowed for such items as chimneys, finials, awnings, pergolas, balconies and small portions of bay and dormer windows.

#### Lots 31 – 36

For these lots the building envelope has a maximum height of 12m, projected at 45 degrees from a point 6m above the finished ground level at the boundary frontages to Arden Street, Gibraltar Way and Victoria Gardens, as shown in Figure 2.

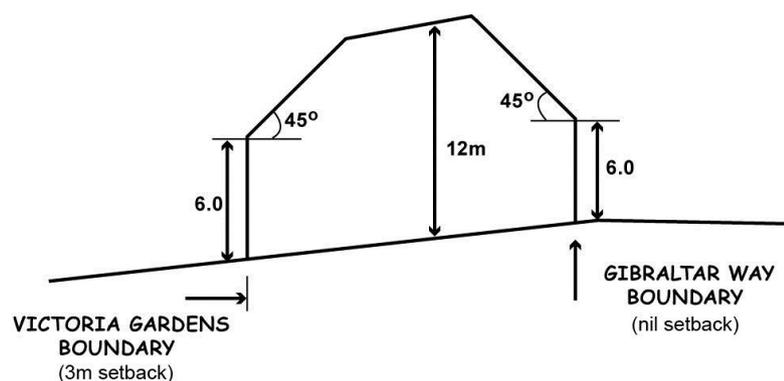


Figure 2: - Building Envelope for Lots 31 – 36

**Lot 37**

For Lot 37, the building envelope has a maximum height of 12m above finished site ground level. The envelope is projected at 45 degrees from a point 6m above the finished ground level at all lot frontages, as shown in Figure 3.

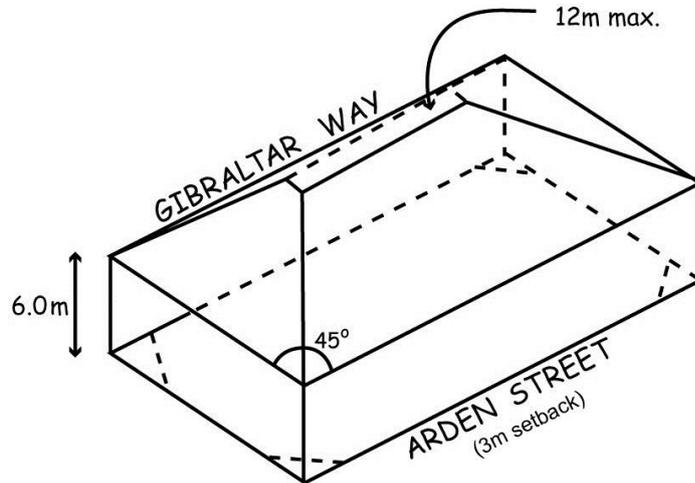


Figure 3: - Building Envelope for Lot 37

**2.4 Setbacks**

BOUNDARY	MIN	MAX	AVERAGE
<b>Arden Street</b>			
Lot 31	-	-	3m
Lot 37	3m	-	-
<b>Victoria Gardens</b>			
Lots 31, 32, 34, 35 and 36			
Rear	3m	-	-
Lot 33	2m	-	-
<b>Gibraltar Way and Pedestrian Access Way</b>	Nil	3m	-

Ensure setbacks and building layouts provide the required clearances of services and service easements.

## 2.5 Side Boundaries

- **Lot 31**  
Nil to north side boundary permitted.
- **Lot 32**  
Nil to south side boundary required, nil to north side boundary permitted.
- **Lot 33**  
Nil to both side boundaries permitted.
- **Lot 34**  
Nil to the eastern side boundary required; nil to west side boundary permitted.
- **Lot 35**  
Nil to the eastern side boundary required; nil to west side boundary permitted.
- **Lot 36**
  - Nil to the western side boundary required; nil to east side boundary permitted, with openings permitted in boundary wall abutting the pedestrian access way.
  - Side boundary walls may be up to 6m in height. A gable is permitted above the 6m limit. A side boundary wall may be increased above 6m to any height that fits within the building envelope where it is paired with that of an adjoining dwelling and the dwellings are constructed simultaneously, or where the proposed boundary wall is similar in length and profile to an existing abutting boundary wall. The objective is to avoid large areas of blank wall visible from neighbouring properties or public areas.
  - Upper floors may be set back from nil side boundaries.

## 2.6 Access and Parking

- Houses on Lots 31 and 37 should have front doors facing Arden Street. Houses on Lots 32 to 36 should have front doors facing Gibraltar Way.
- Vehicle access to all lots is to be provided directly into garages/car ports off Gibraltar Way. Alternative layouts will be considered for Lot 33.
- Minimise the extent of lot frontage given over to car access.
- All parking to be concealed from public view.
- Direct access to Victoria Gardens is not permitted from any lot.

## 2.7 Open Space

- Private north facing open space, directly accessible from a living area, is to be provided for each dwelling.
- Private open space may be at ground level or provided as a balcony, terrace or deck.
- All private open space is to be of usable area and dimensions. As a guide, ground level private open space should have an area with minimum dimensions of 4m by 4m, while a balcony serving as the only area of private open space should have a minimum area of 4m<sup>2</sup>, with a minimum dimension of 1.5m.
- Design balconies for user privacy and the sharing of views.

## 3.0 GUIDELINES

### 3.1 Building Design

#### 3.1.1 General

- Dwelling design to suit a variety of household types is encouraged to increase housing flexibility over time.
- Building heights are generally to be two to three storey (6m - 9m) plus attic space. Attics which are wholly contained within the roof space are not defined as a storey.
- Each dwelling must be designed to retain the earth within its site boundaries and must not cause adjoining owners to compromise the design of their dwelling such that retaining structures for their lot would be required in excess of what would ordinarily be required.
- When two dwellings abut, the heights and levels of roof ridges, pitching points, gutters, eaves, parapets and floor levels must either match or vary by a minimum of 600mm.

#### 3.1.2 Privacy

A high standard of acoustic and visual privacy is expected with particular attention to:

- construction materials and techniques to reduce noise transmission between dwellings;
- site and dwelling layout to separate potentially conflicting uses;
- balcony and window location and design to avoid overlooking neighbouring windows and private open space.

#### 3.1.3 Roof form

- The majority of the roof pitch is to be between 30 - 45 degrees where visible from public areas, streets and mews, with a shallower pitch acceptable for verandahs and canopies, small areas of skillion roofs. Small areas of flat roofs may be accepted where they are screened behind parapets.
- Dormer/attic windows, verandahs and awnings are encouraged in order to reduce the apparent scale of development, add visual interest and assist with climate control.

#### 3.1.4 Articulation and detailing

- Building design is to enhance individual dwelling identity for all housing types.
- Dwellings to present a "front" to public streets, mews and open spaces with layout to enable "eyes on the street, mews and public open space" for casual surveillance from some habitable rooms and balconies. Particular attention should be paid to elevations fronting Victoria Garden, which will be highly visible.
- Buildings are to provide a modulated street frontage with an articulated facade and use of elements such as verandahs, balconies, awnings, dormers and window projections to provide visual interest and establish a fine grained scale to development.
- Detailing is to generally provide visual richness and variety, interest and identity and assist in reducing the visual bulk of building mass.
- Corner buildings are to address both frontages, with special treatment encouraged to mark corners and link streets, for example, additional floor height, distinct roof form, articulation of corner wall elements, variation in materials and colours, special balcony treatments.

- Garages (particularly doors), carports and parking areas should be detailed to reduce their visual impact and add interest at the pedestrian level.

### 3.2 Colours and Materials

#### 3.2.1 Walls and windows

- Walls are to be predominantly red brick, limestone and similarly coloured masonry or rendered walls.
- Render may be paint finished in ochres, reds, and traditional wash colours.
- Timber and lightweight painted cladding, paint finished or stained, is acceptable on upper floors and as a minor element at ground floor level.
- The well considered use of more than one material and use of more than one finish is encouraged as it adds variety, reduces perceived building bulk. Finishes that separate ground and upper floors or parts of upper floors are encouraged.
- Reflective glass or dark tinted glass is not permitted.

#### 3.2.2 Colour

- Colour schemes involving well considered colours are encouraged as distinct from predominantly monochrome colour schemes.
- Trim colours which enhance and complement the wall and roof colours are preferred. The local government retains the right of final decision on the acceptability of a colour scheme.

#### 3.2.3 Roofs

- Roof materials are to be selected from within the following colour range: tiles in autumn or terracotta tones; shingles in slate grey; corrugated metal decking in Colorbond Off White, Merino, Wheat, Birch Grey, Saltbush, Beige, Homestead, Mist Green or Gull Grey.
- A Zinalume finish is acceptable where it can be demonstrated that glare and reflectivity will not be a problem to neighbours and surrounding activities.
- Shadecloth or profiled clear acrylic roof sheeting is not permitted in locations visible from Victoria Gardens.

### 3.3 Blank Walls

Blank walls abutting public spaces are to be kept to a minimum. Walls are to be detailed to provide visual interest and pedestrian scale.

### 3.4 Landscape

- In order to increase on-site absorption and reduce run-off, permeable segmental paving is to be used for all hard surfaces.
- Where paving inside a lot abuts and is visible from sealed surfaces in streets, the new paving should be co-ordinated in colour, texture and scale with the surface in the street.
- Trees selected should be suitable so that the mature size, scale and form will relate to but not overwhelm the building mass.
- Owners should note that trees used within public spaces may overhang property boundaries once they mature. The local government has advised that it will be responsible for cleaning leaves etc. which fall within public areas only.

### 3.5 Services

- A service easement area is defined for each lot and all meters and connections are located within it. All such fittings shall be integrated into the overall landscape and building design with all structures to remain clear of this area.
- All piped and wired services, air conditioners, clothes drying areas and hot water storage tanks should be concealed from street and public area view. Solar panels and solar water heaters may be visible where they are in the same plane as the roof and there is no alternative location that can provide a similar level of solar efficiency.
- A Sewerage and Drainage Plan is to be provided with all building licence applications as special stormwater conditions apply.

### 3.6 Retaining Walls and Fences

- Lots 31 - 36 are each to have a solid wall or retaining wall on the Victoria Gardens boundary. The wall is to be constructed to a height of 1.2m above the existing ground level measured from the lowest corner of the lot on the Victoria Gardens boundary. It is to be horizontal, not stepped or sloped.
- Retaining walls and fences are to be in limestone detailed to match the existing public walling to the edge of Victoria Gardens.
- The standard fencing style is capped limestone piers 350mm x 350mm square to a maximum of 2m high, and infill to a maximum of 1.8m high, comprising a limestone fence base course and wrought iron or metal railings. The height of the fence is measured from the existing ground level of the street or public space immediately abutting the boundary and includes the height of any retaining wall or fence base wall. For boundaries fronting Victoria Gardens, the base wall/retaining wall is to be used as the fence base course. Figure 4 refers.
- Solid limestone panels of fencing are permitted adjacent to the nominated area of private open space. In such cases, the extent of solid fencing should not exceed 50% of the lot width for that particular dwelling. Solid panels of fencing are permitted along the perimeter of Gibraltar Way for Lot 37.

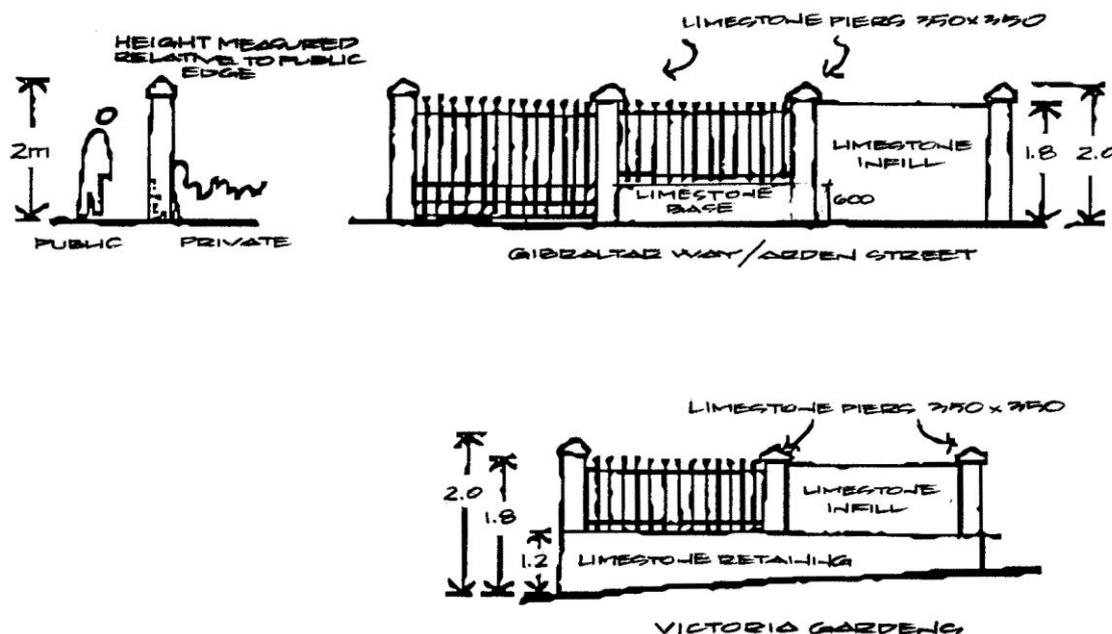


Figure 4: - Typical Fencing Style and Heights