

Planning Policy Manual – Part 2

**Planning Policies and Design Guidelines for Normalised
Redevelopment Areas**

Section 2.10
East Perth – Area 10
Brook Street (P & O Site)



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1.0 INTRODUCTION

1.1 Application

These guidelines apply to Pt Lot 157, as shown in Figure 1, which is located within the East Parade Precinct (Precinct EP7), as defined by the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas) (herein called ‘the Scheme’).

1.2 Relationship to Planning Scheme and Policies

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the Claisebrook Village Project Area, Precinct EP7: East Parade, and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

The Scheme identified Preferred, Contemplated and Prohibited uses for Precinct EP7: East Parade and stipulated maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

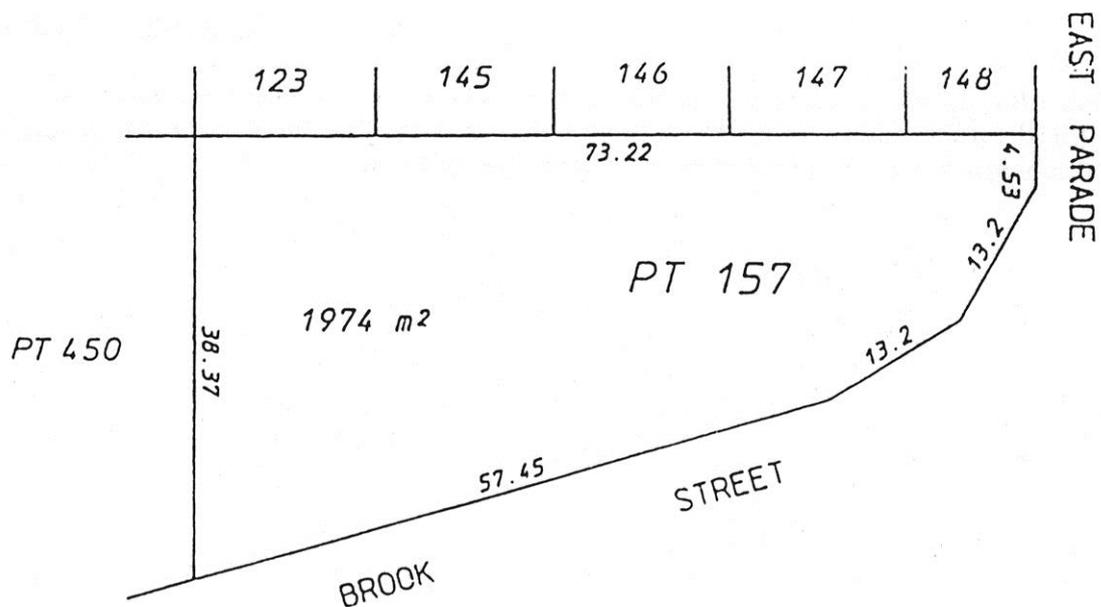


Figure 1:- Brook Street (P & O Site)

2.0 GUIDELINES

2.1 Desired Character

The subject site is prominent in the Redevelopment Area, being at the intersection of three busy roads and also forming part of the western side of 'Claisebrook Square', which is one of the area's principal public spaces.

The site therefore has considerable exposure to passing traffic, and is also highly visible from across the Claisebrook valley, from the Claisebrook Walk and Eastbrook areas.

The local government is seeking a high quality development for this site having a strong identity, with the potential to establish a 'landmark' character and match the impact and quality of the buildings to be developed on other key sites along the East Parade/Plain Street traffic spine.

2.2 Building Envelope

Except as discussed below, building height and bulk is to be contained within the defined building envelope shown in Figure 2, with only minor projections allowed for building features which in the opinion of the local government contribute to the character and identity of the area.

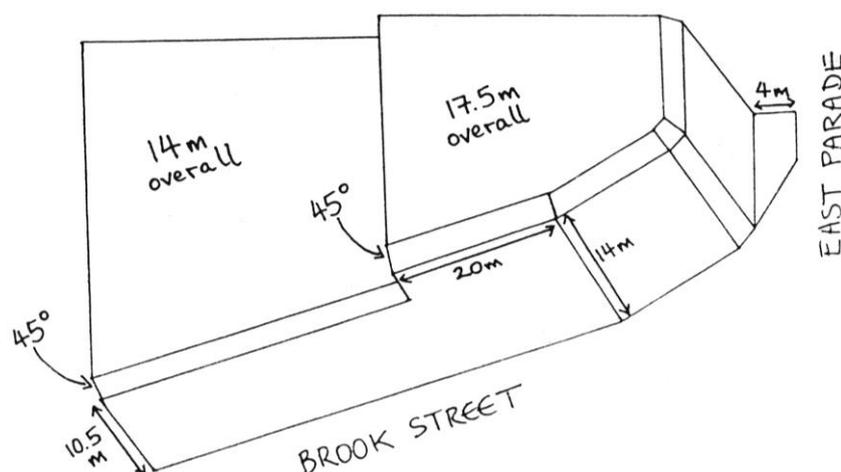


Figure 2:- Building Envelope

Balconies, awnings and verandahs may project beyond the building envelope in accordance with the specific guidelines applicable to those elements.

The maximum envelope height is measured from the finished ground level of the highest street level at the perimeter of the lot.

It should be understood that the building envelope defined the outer limits of building bulk. It is not intended that the building's profile should mirror that of the envelope. Actual floorspace is controlled by reference to the allowable plot ratio for the site.

2.3 Set Backs

Building setback to the Brook Street frontage should be predominantly nil, however a limited length of frontage with minor setbacks may be supported if used to emphasise main building entrance positions or similar features.

On the eastern boundary, to East Parade, a setback of approximately 4m may be considered to assist in defining the form of the adjacent public space.

A nil setback on the site's northern boundary, adjacent to East Parade, is required to maintain the continuity of building frontages on that street.

2.4 Balconies, Verandahs and Awnings

Balconies fronting Brook Street and East Parade must be incorporated into the building fabric such that they do not project beyond the primary plane of the building elevation.

Built frontages to Brook Street and East Parade should provide continuous pedestrian protection from sun and rain through the use of a suspended awning or cantilevered verandah 2.5m wide. Posted verandahs will not be permitted.

Generally, awnings or verandahs must have a clearance above footpath level of 3.3m. Where necessary, they should be stepped to conform with the grade of the footpath. In such case the steps should not exceed 600mm and the clearance above footpath level may be reduced to 3m. Figure 3 illustrates these requirements.

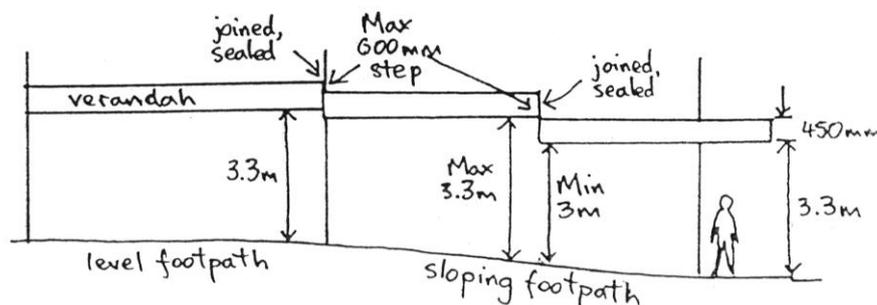


Figure 3:- Balconies, Verandahs and Awnings

2.5 Open Space

Open space is not required for non-residential uses.

For residential uses, an area of private open space directly accessible from a living area is required for each dwelling. This may be provided as a balcony, terrace or deck.

3.0 ACCESS AND PARKING

3.1 Pedestrian Access

Pedestrian access to the development should be at grade, that is directly from the adjacent footpaths. Access points should be designed to be suitable for people with impaired mobility.

3.2 Vehicle and Service Access and Parking

Vehicle access and egress should be confined to the Brook Street frontage of the site, via a single crossover located at the western end of the frontage, serving both parking and service vehicles.

3.3 Bicycles

Provision is to be made within the development for secure bicycle parking, and for other end-of-trip facilities such as showers.

4.0 BUILDING FORM

4.1 Security

The development should contribute to the creation of a safe environment by avoiding the formation of blind spaces which cannot be overlooked from rooms which are in frequent use. External spaces and building entrances should be well lit, and other measures to enhance the personal safety of occupants and visitors should also be considered. If the development incorporates shop or showroom windows at ground floor level, deterrents to vehicle ramming may need to be considered.

4.2 Roof Form

Generally, roofs should be pitched, with an angle of between 30 and 45 degrees. Provision of a decorative parapet with a shallower pitched roof behind, in the traditional manner, is however acceptable on the Brook Street and East Parade frontages.

4.3 Corners

Corner sites such as the subject site tend to be the most prominent, and buildings in these locations can play a special role in defining the quality of the adjoining public spaces, and are often landmarks which assist the legibility of the built environment. Extra height at the Brook Street/East Parade corner introduced through the use of a decorative parapet, tower element or similar feature would help to give prominence to the building. A corner element could take the form of an additional Storey if the local government is satisfied that it contributes to the landmark quality of the building.

4.4 Articulation

The building form should be articulated to establish a vertical rhythm or pattern. Projections such as verandahs, canopies, balconies and windows should be used to provide visual interest and contribute to a finer grained scale of development. The main building entrance or entrances should be clearly defined, and may be highlighted with an appropriate architectural treatment.

4.5 Detail

The public faces of the building on Brook Street and East Parade should be detailed to provide visual richness and variety, accentuate vertical rhythms, reduce the apparent bulk of the building mass and enhance its individual identity. This can be achieved through the use of colour, texture and materials, surface modelling and the integration of art.

4.6 Blank Walls

Blank facades on the Brook Street and East Parade frontages are not permitted. These facades should be detailed with openings and articulated to provide visual interest.

5.0 COLOURS AND TEXTURES

5.1 Walls

Walls should be predominantly rendered masonry, red/terracotta brick or limestone, or combinations of these materials. Rendering should be in the colour range of earth tones, from yellow to red-brown ochre.

5.2 Windows

The use of reflective glass in the Brook Street and East Parade facades is generally not permitted, especially at ground level adjoining the footpaths. Rooms requiring privacy should not be situated in such locations.

5.3 Roofs

Roofs should be flat profile tiles in off-white to mid-grey or pale ochre, or corrugated metal decking in Colorbond Off-White, Merino, Birch Grey, Wheat or Saltbush.

5.4 Building Services

All pipes and wired services, air conditioners, bin stores and storage tanks are to be concealed from public view.

5.5 Landscape

Given the requirement for nil setbacks on the site's street frontages, the scope for landscaped areas visible from the public domain will be limited. Any landscaping that does relate to the adjacent streetscape should adopt a similar general landscape style, for visual consistency.

Open parking areas should be screened from the street and shaded where possible.

5.6 Crossovers

The vehicle crossover on Brook Street is to be constructed to the local government's specifications and at the developer's expense.

5.7 Integration of Art

The involvement of artists in designing a new development can enrich the design response and contribute to the creation of a sense of place in the local environment. Consequently, the use of artists as part of the design team for new development is strongly encouraged by the local government. Examples of artworks that can be integrated into a new development include detailing to walls, balustrades and railings, paving, seating, bollards, lighting, building fittings, entry treatments and signage.